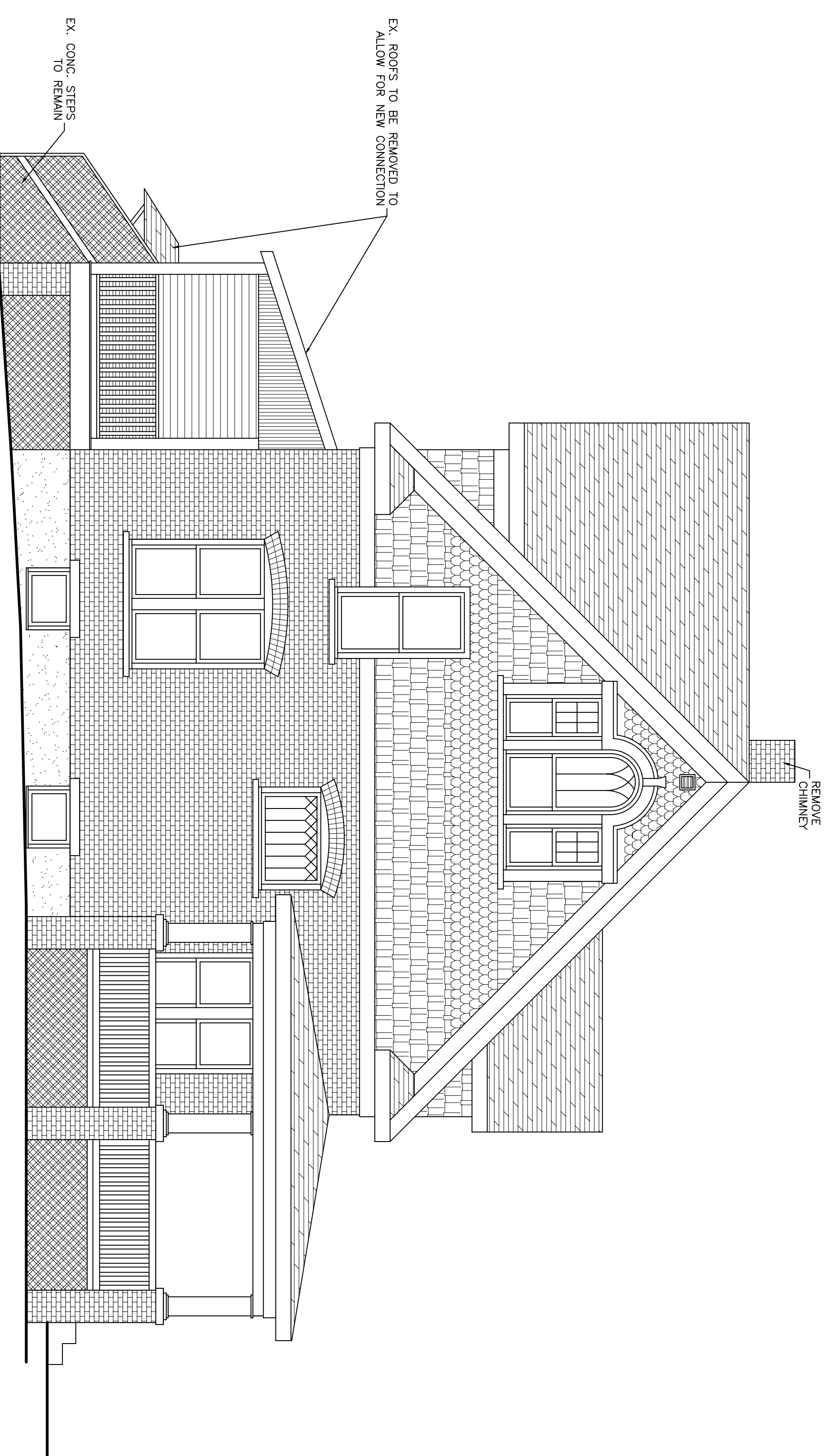
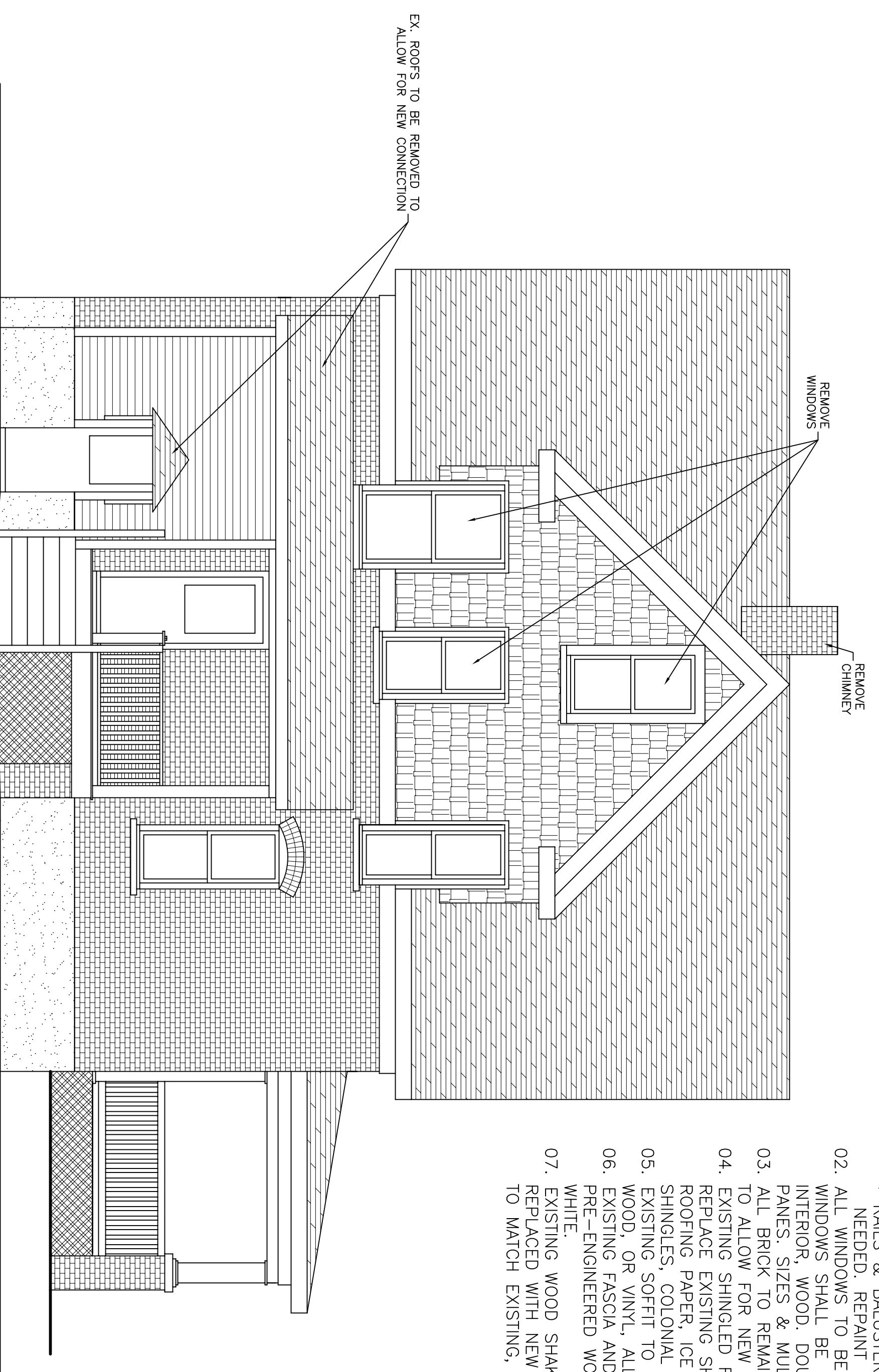


EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

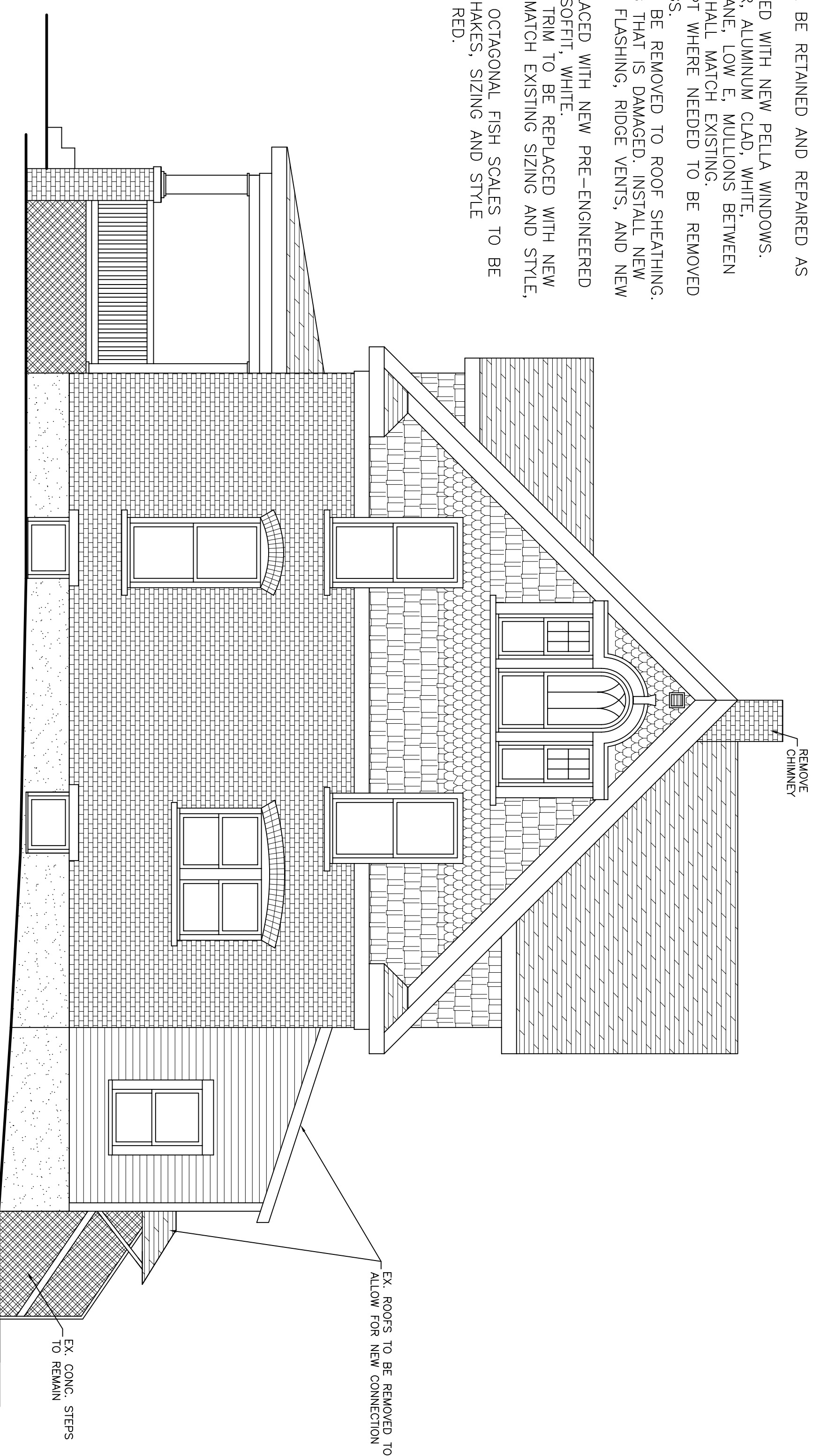


EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"

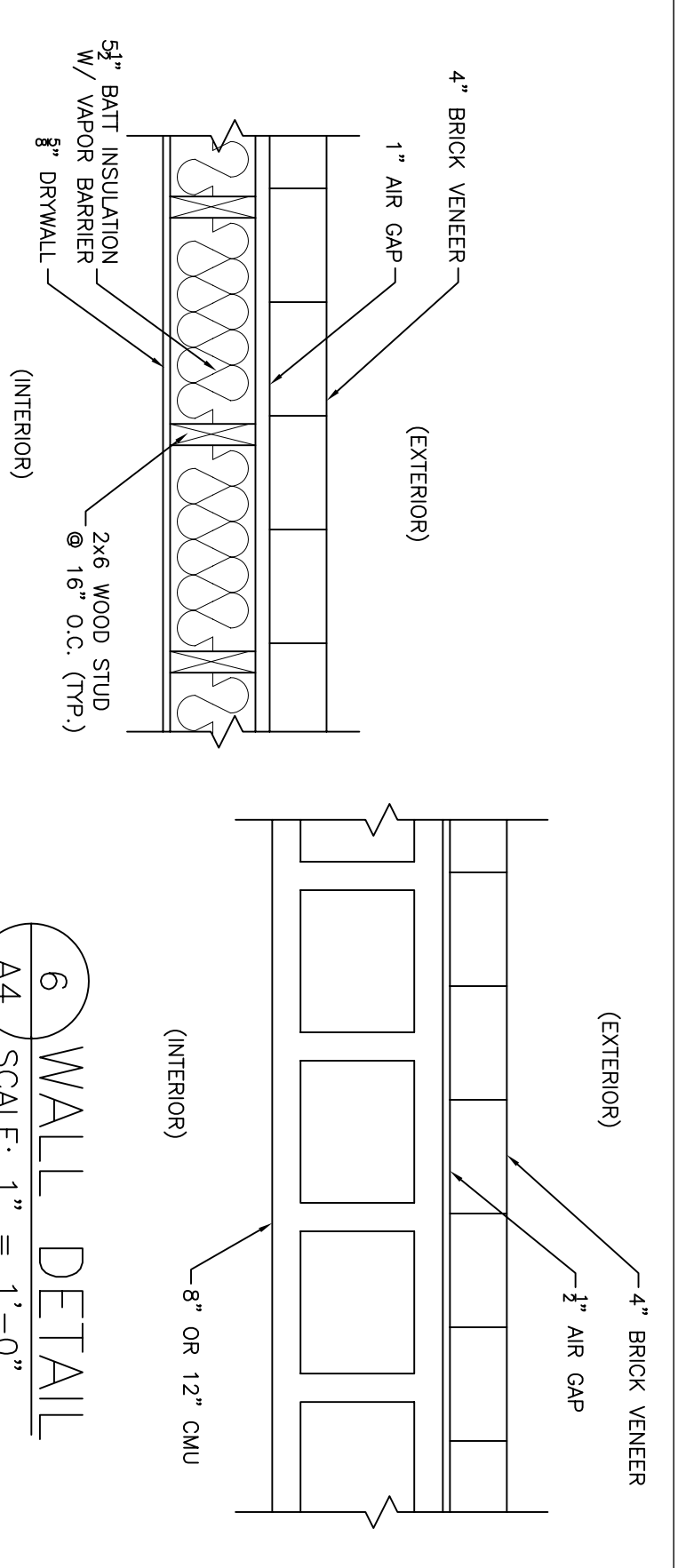
- NOTES:
01. EXISTING PORCHES:  
\* FLOORS TO BE REMOVED. REPAIR ANY DAMAGED STRUCTURAL SUPPORTS.  
\* INSTALL NEW AZEK FLOORING, SLATE GRAY.  
\* PORCH SOFFITS SHALL RECEIVE VINYL BEADBOARD SOFFIT, WHITE.
  - \* RAILS & BALUSTERS SHALL BE RETAINED AND REPAIRED AS NEEDED. REPAINT WHITE.
  02. ALL WINDOWS TO BE REPLACED WITH NEW PELLA WINDOWS. WINDOWS SHALL BE EXTERIOR, ALUMINUM CLAD, WHITE. INTERIOR, WOOD. DOUBLED PANE, LOW E. MULLIONS BETWEEN PANES. SIZES & MULLIONS SHALL MATCH EXISTING.
  03. ALL BRICK TO REMAIN EXCEPT WHERE NEEDED TO BE REMOVED TO ALLOW FOR NEW OPENINGS.
  04. EXISTING SHINGLED ROOF TO BE REMOVED TO ROOF SHEATHING. REPLACE EXISTING SHEATHING THAT IS DAMAGED. INSTALL NEW ROOFING PAPER, ICE SHIELD, FLASHING, RIDGE VENTS, AND NEW SHINGLES, COLONIAL SLATE.
  05. EXISTING SOFFIT TO BE REPLACED WITH NEW PRE-ENGINEERED WOOD, OR VINYL, ALL-VENT SOFFIT, WHITE.
  06. EXISTING FASCIA AND DENTIL TRIM TO BE REPLACED WITH NEW PRE-ENGINEERED WOOD, TO MATCH EXISTING SIZING AND STYLE, WHITE.
  07. EXISTING WOOD SHAKES AND OCTAGONAL, FISH SCALES TO BE REPLACED WITH NEW VINYL SHAKES, SIZING AND STYLE TO MATCH EXISTING, AUTIUM RED.



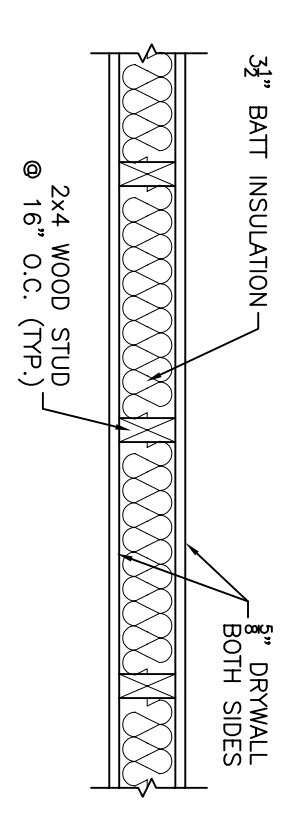
EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



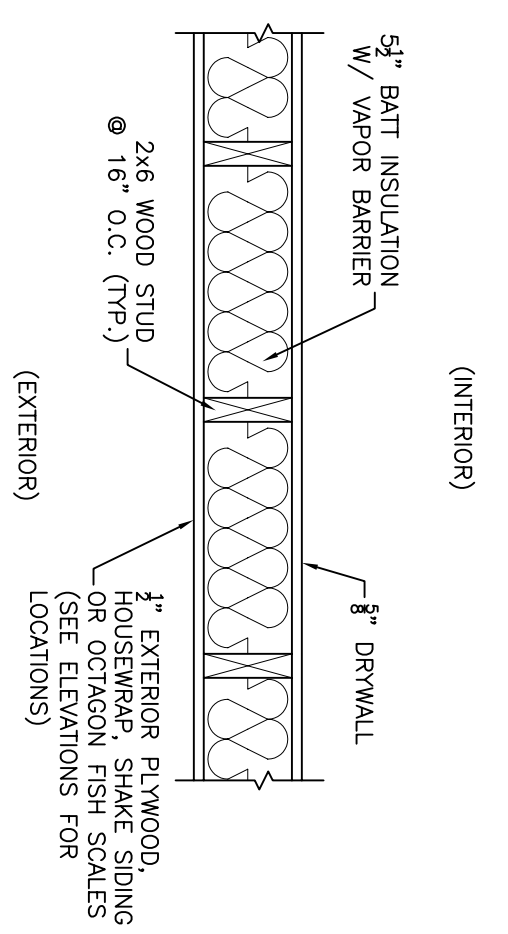
EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"



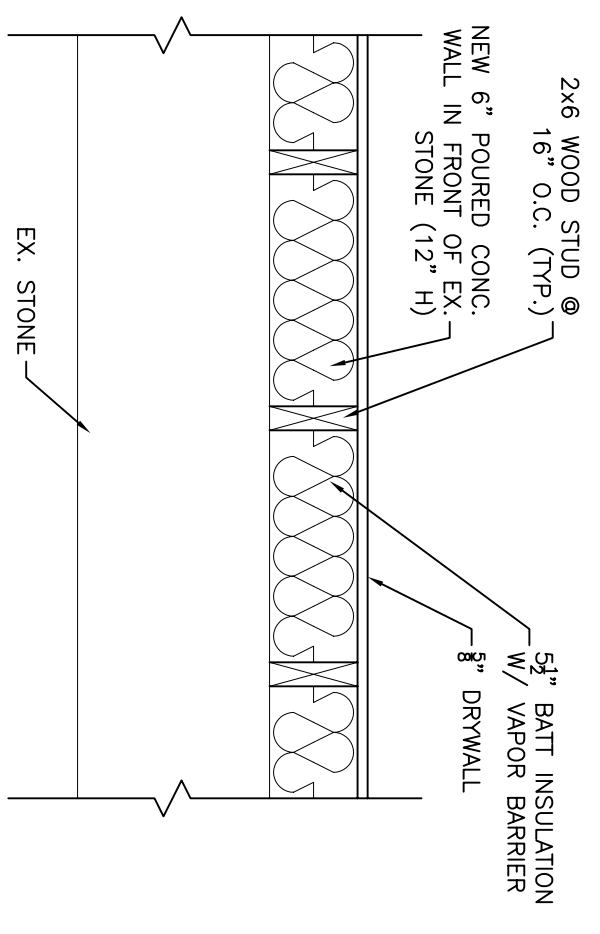
1 WALL DETAIL  
A4 SCALE: 1" = 1'-0"



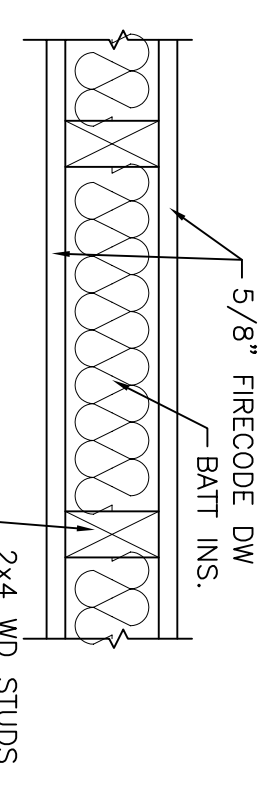
2 WALL DETAIL  
A4 SCALE: 1" = 1'-0"



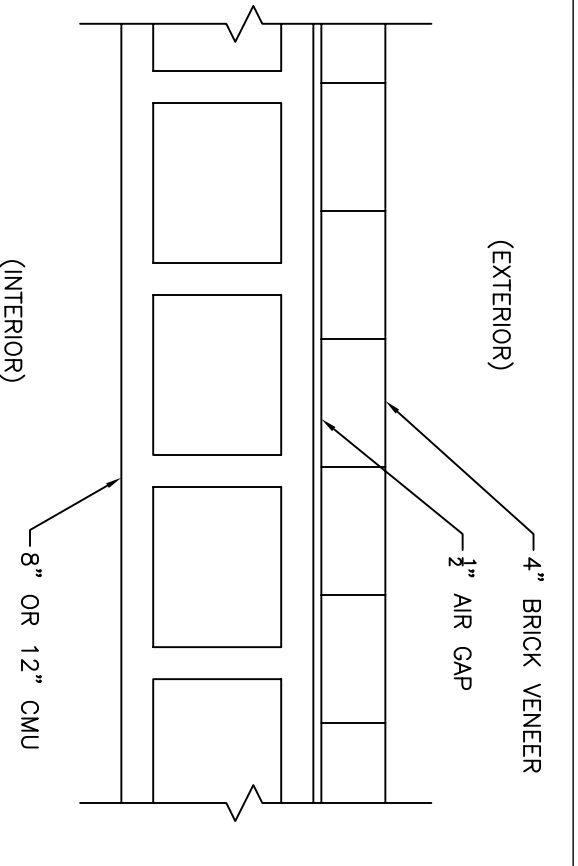
3 WALL DETAIL  
A4 SCALE: 1" = 1'-0"



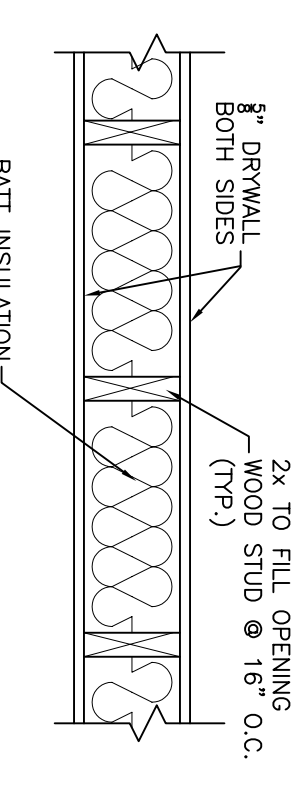
4 WALL DETAIL  
A4 SCALE: 1" = 1'-0"



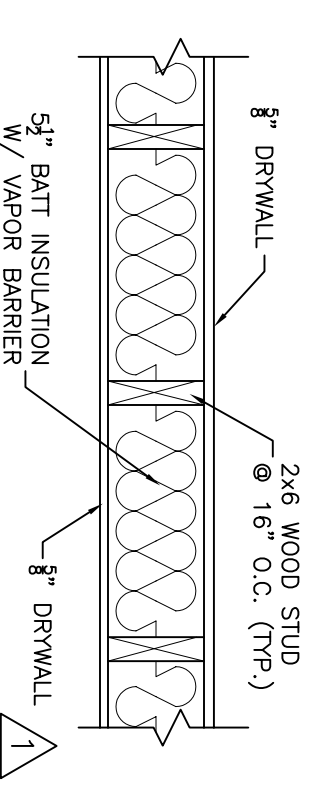
5 NEW 1HR WALL DETAIL  
A4 N.T.S. WP3514



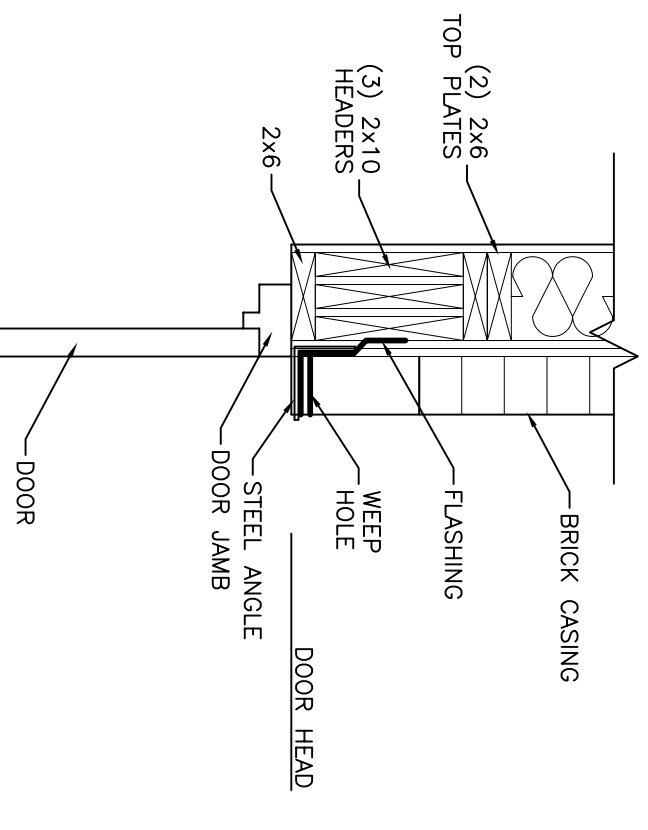
6 WALL DETAIL  
A4 SCALE: 1" = 1'-0"



7 WINDOW OPENING FILL DETAIL  
A4 SCALE: 1" = 1'-0"

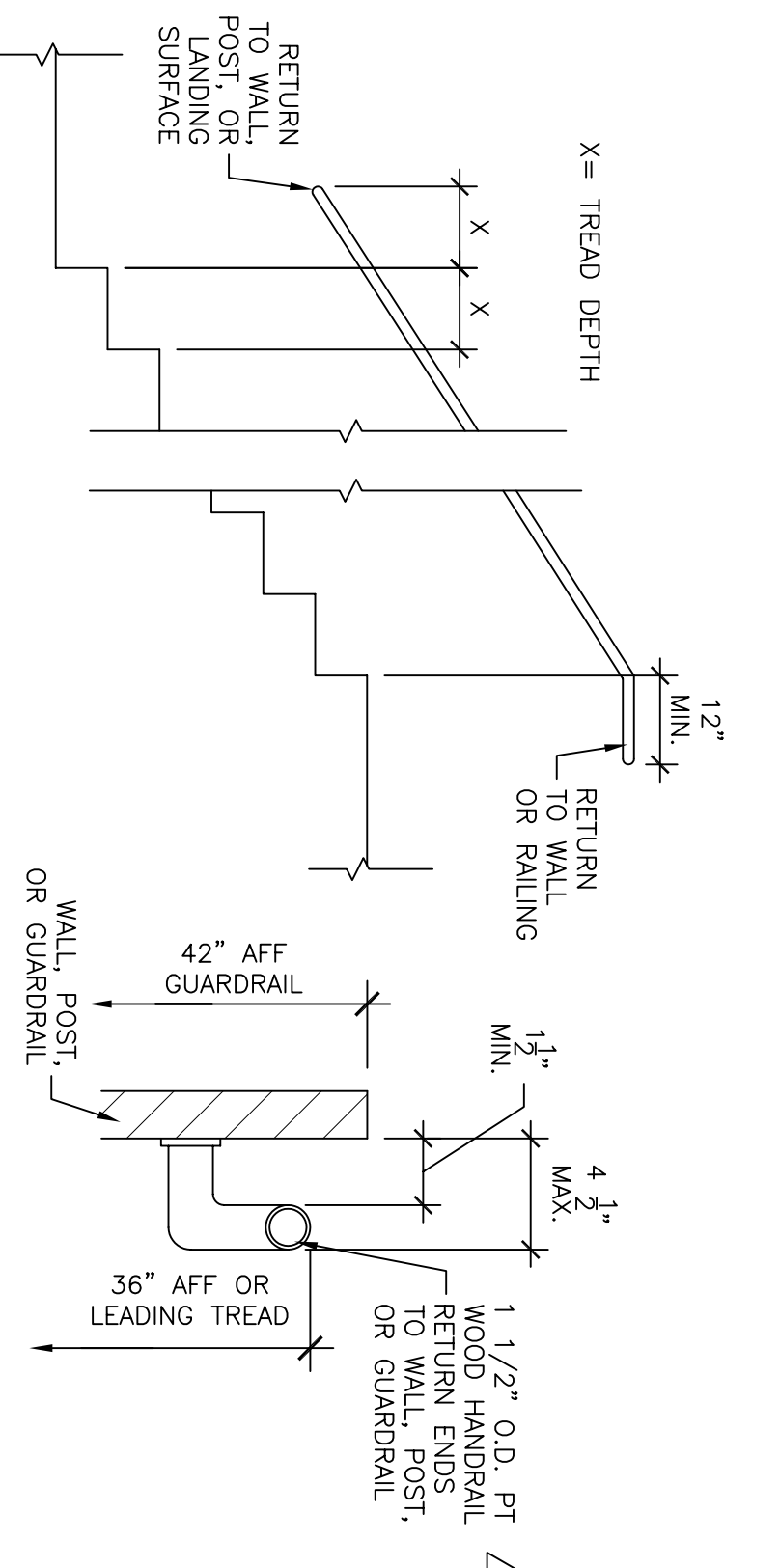


8 EAVE WALL DETAIL  
A4 SCALE: 1" = 1'-0"

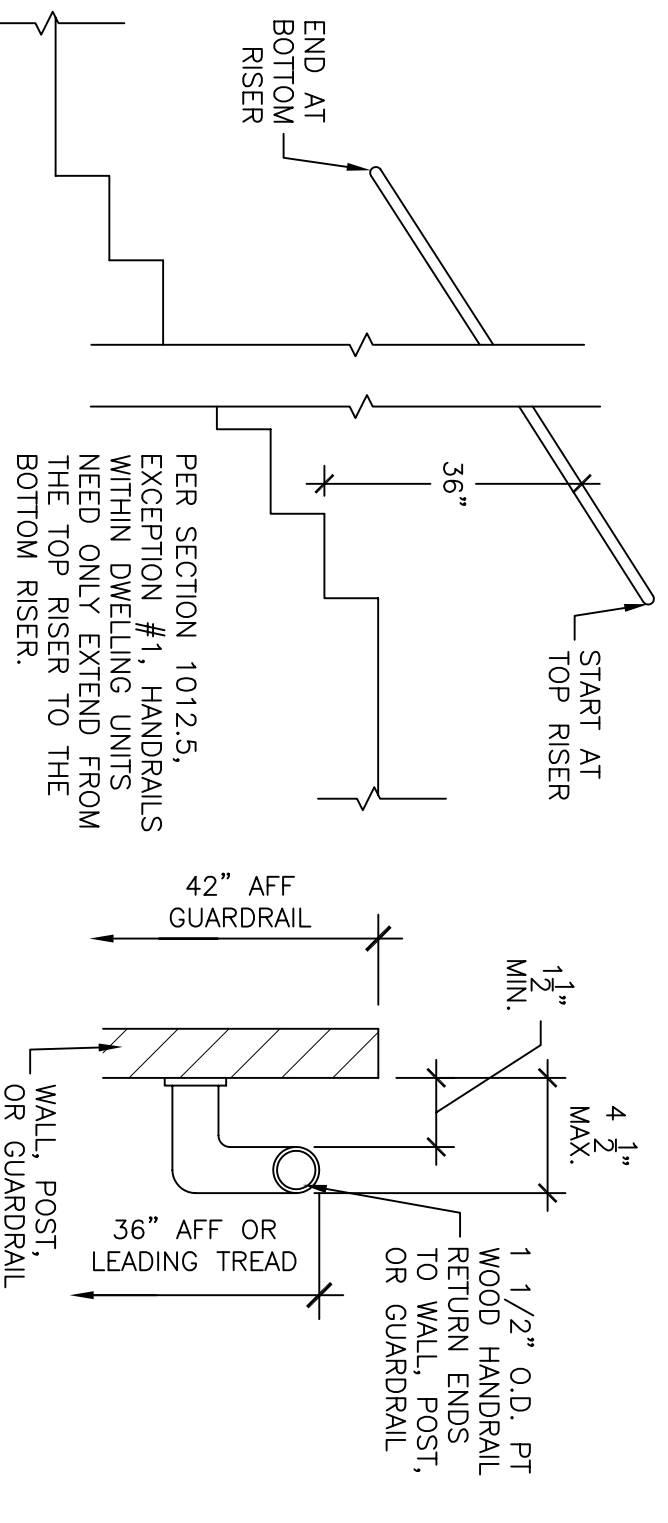


DOOR FLASHING  
SCALE: 1" = 1'-0"

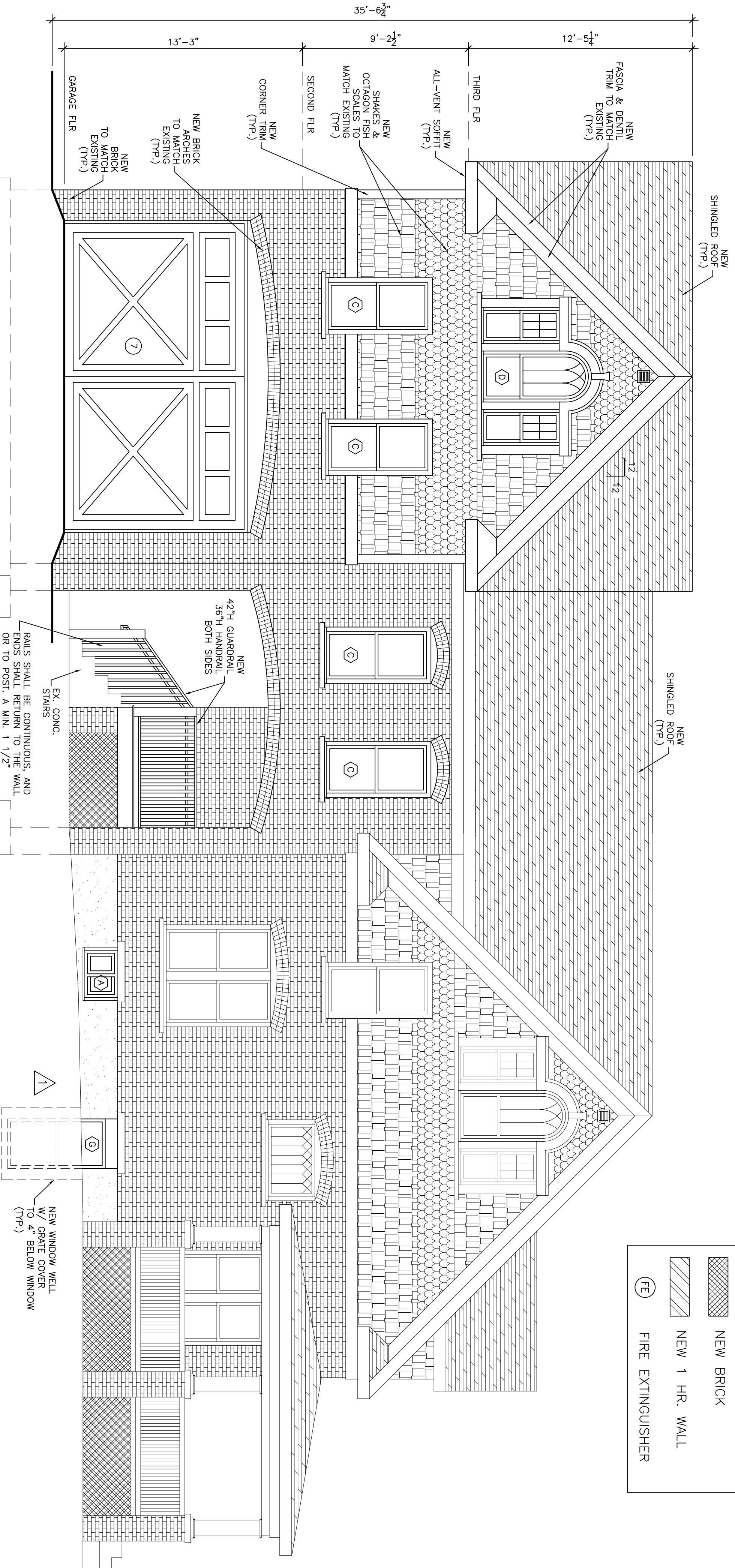
- NOTES:**
- EXISTING PORCHES TO BE REMOVED. REPAIR ANY DAMAGED STRUCTURAL SUPPORTS.
  - INSTALL NEW ASER FLOORING, SLATE GRAY.
  - PORCH SOFFITS SHALL RECEIVE VINYL BEADBOARD SOFFIT. RAILS & BAULSTERS SHALL BE RETAINED & REPAIRED AS NEEDED. REPAINT WHITE.
  - ALL NEW & EXISTING WINDOWS SHALL BE NEW PELLA WINDOWS. INTERIOR, WOOD, DOUBLED PANEL, LOW E, MULLIONS BETWEEN PANELES, SIZES & MULLIONS SHALL MATCH EXISTING OR EXTERIOR. DO NOT REMOVE EXISTING WINDOW HEADS OR SILLING. EXISTING SHINGLED ROOF TO BE REMOVED TO ROOF SHEATHING. REPLACE EXISTING SHEATHING THAT IS DAMAGED. INSTALL NEW SHINGLES, COLONIAL SLATE.
  - ALL NEW & EXISTING SOFFIT SHALL BE NEW PRE-ENGINEERED WOOD. OR VINYL ALU-VENT SOFFIT WHITE.
  - ALL NEW & EXISTING WOOD SHAKES AND OCTAGONAL FISH SCALES PRE-ENGINEERED WOOD TO MATCH EXISTING SIZING AND STYLE. WHITE.
  - ALL NEW & EXISTING WOOD SHAKES AND OCTAGONAL FISH SCALES EXISTING. AUTUMN RED.



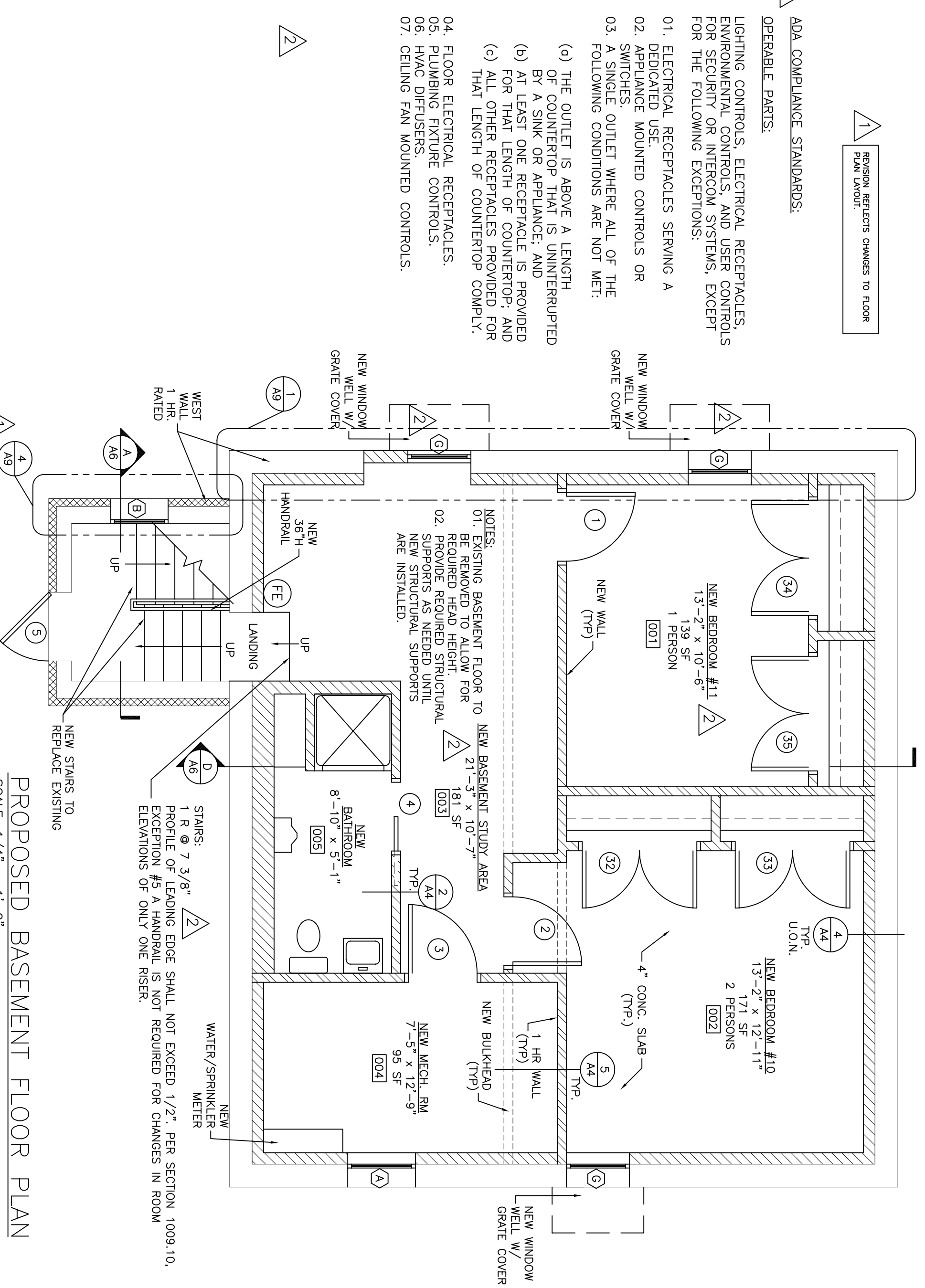
EXTERIOR STAIR RAILING DETAILS  
SCALE: N.T.S.



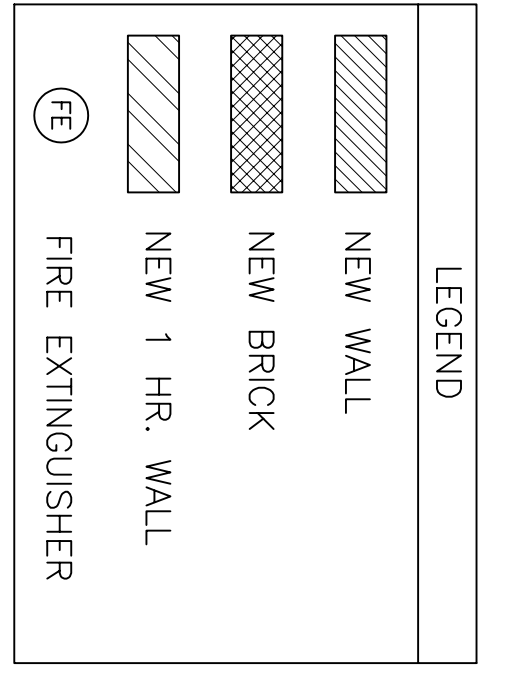
INTERIOR STAIR RAILING DETAILS  
SCALE: N.T.S.



PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"

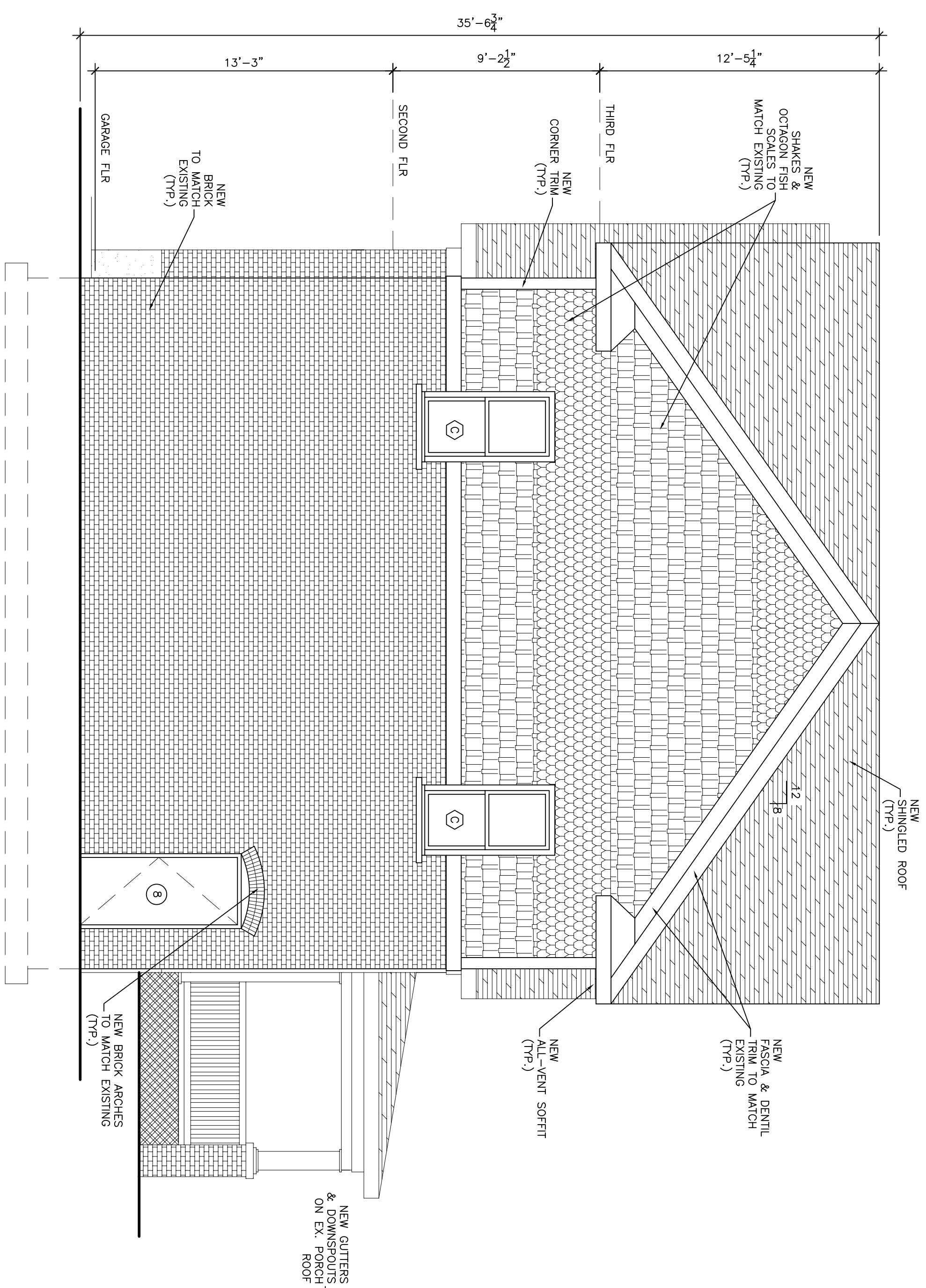


- ADA COMPLIANCE STANDARDS:**
- OPERABLE PARTS:**
- LIGHTING CONTROLS, ELECTRICAL RECEPTACLES, ENVIRONMENTAL CONTROLS, AND USER CONTROLLED FOR SECURITY OR INTERCOM SYSTEMS, EXCEPT FOR THE FOLLOWING EXCEPTIONS:
- ELECTRICAL RECEPTACLES SERVING A DEDICATED USE.
  - APPLIANCE MOUNTED CONTROLS OR FASTENED OUTLET WHERE ALL OF THE FOLLOWING CONDITIONS ARE NOT MET:
    - THE OUTLET IS ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE; AND
    - AT LEAST ONE RECEPTACLE IS PROVIDED FOR THE ENTIRE LENGTH OF COUNTERTOP, AND
    - THE LENGTH OF COUNTERTOP COMPLY.
  - FLOOR ELECTRICAL RECEPTACLES.
  - PLUMBING FIXTURE CONTROLS.
  - PLUMBING DIFFUSERS.
  - CEILING FAN MOUNTED CONTROLS.

STAIRS TO REPLACE EXISTING  
1 R @ 7 3/8" PROFILE OF LEADING EDGE SHALL NOT EXCEED 1/2" PER SECTION 1009.10. EXCEPTION #5 A HANDRAIL IS NOT REQUIRED FOR CHANGES IN ROOM ELEVATIONS OF ONLY ONE RISER.

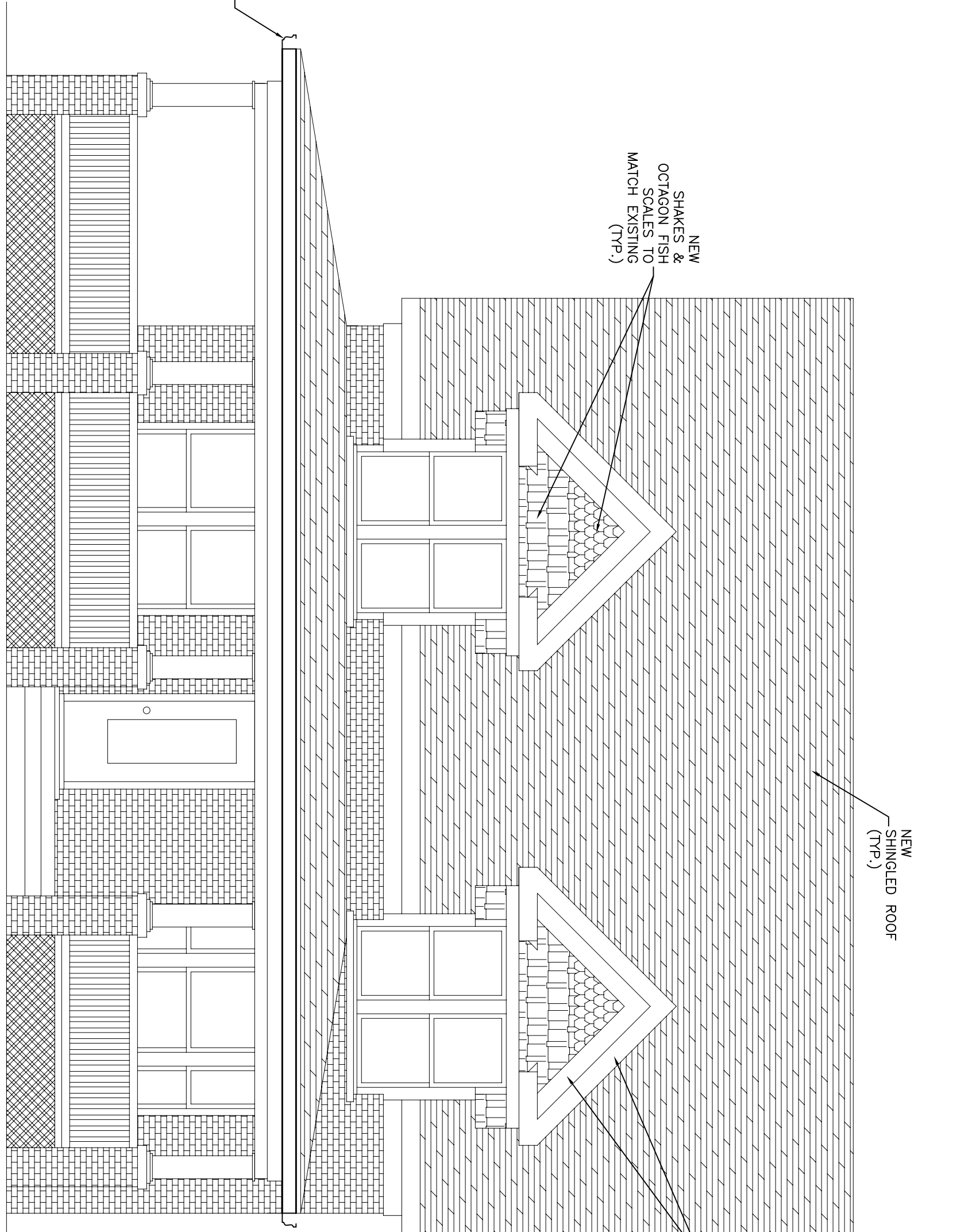
NOTES:  
01. EXISTING BASEMENT FLOOR TO NEW BASEMENT STUDY AREA TO BE REMOVED TO ALLOW FOR NEW STRUCTURAL SUPPORTS AS NEEDED UNTIL ARE INSTALLED.

BUILDING NORTH



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

- NOTES:
01. EXISTING PORCHES:
    - \* FLOORS TO BE REMOVED. REPAIR ANY DAMAGED STRUCTURAL SUPPORTS.
    - \* INSTALL NEW AZEK FLOORING, SLATE GRAY.
    - \* PORCH SOFFITS SHALL RECEIVE VINYL BEARBARD SOFFIT, WHITE.
  - \* RAILS & BALUSTERS SHALL BE RETAINED & REPAIRED AS NEEDED.
  02. ALL NEW & EXISTING WINDOWS SHALL BE NEW PELLA WINDOWS. WINDOWS SHALL BE EXTERIOR, ALUMINUM CLAD, WHITE. INTERIOR, WOOD, DOUBLED PANE, LOW E, MULLIONS BETWEEN PANELES, 1/2" & 3/4" MULLIONS SHALL BE KEPT TO BE REMOVED TO ALLOW FOR NEW OPENINGS. NEW BRICK TO MATCH EXISTING. REPLACE EXISTING SHEATHING THAT IS DAMAGED. INSTALL NEW ROOFING PAPER, ICE SHIELD, FLASHING, RIDGE VENTS, AND NEW SHINGLES, COLONIAL SLATE.
  03. ALL NEW & EXISTING SOFFIT SHALL BE NEW PRE-ENGINEERED WOOD, OR VINYL, ALL-VENT SOFFIT, WHITE.
  04. ALL NEW & EXISTING FASCIA AND DENTIL TRIM SHALL BE NEW PRE-ENGINEERED WOOD, TO MATCH EXISTING SIZING AND STYLE, WHITE.
  05. ALL NEW & EXISTING WOOD SHAKES AND OCTAGONAL FISH SCALES SHALL BE NEW VINYL SHAKES, SIZING AND STYLE TO MATCH EXISTING, AUTUMN RED.

NATURAL VENTILATION CALCULATIONS

ROOM	AREA	VENTILATION	RESULT
BASEMENT STUDY	- V - 181 SQ.FT. x 4% = 7 SQ.FT.	(1) 2955 = 8 SQ.FT.	(1) 3068 = 20 SQ.FT. -OK
LIVING	- V - 203 SQ.FT. x 4% = 8 SQ.FT.	(1) 2959 = 7 SQ.FT.	(2) 1359 = 6 SQ.FT.
DINING	- V - 183 SQ.FT. x 4% = 7 SQ.FT.	(1) 2259 = 7 SQ.FT.	(1) 2759 = 7 SQ.FT. -OK
KITCHEN	- V - 167 SQ.FT. x 4% = 7 SQ.FT.	(1) 2259 = 6 SQ.FT.	(2) 2059 = 10 SQ.FT. -OK
BEDROOM #1	- V - 182 SQ.FT. x 4% = 7 SQ.FT.	(1) 21068 = 6 SQ.FT.	(2) 2236 = 18 SQ.FT. -OK
BEDROOM #2	- V - 112 SQ.FT. x 4% = 4 SQ.FT.	(1) 2456 = 12 SQ.FT.	(1) 2756 = 7 SQ.FT. -OK
BEDROOM #3	- V - 139 SQ.FT. x 4% = 6 SQ.FT.	(1) 2956 = 7 SQ.FT.	(2) 2456 = 12 SQ.FT. -OK
BEDROOM #4	- V - 140 SQ.FT. x 4% = 6 SQ.FT.	(1) 2956 = 7 SQ.FT.	(1) 2060 = 6 SQ.FT. -OK
BEDROOM #5	- V - 199 SQ.FT. x 4% = 8 SQ.FT.	(3) 2756 = 21 SQ.FT.	(3) 2756 = 21 SQ.FT. -OK
BEDROOM #6	- V - 198 SQ.FT. x 4% = 8 SQ.FT.	(3) 2756 = 21 SQ.FT.	(3) 2756 = 21 SQ.FT. -OK
BEDROOM #7	- V - 168 SQ.FT. x 4% = 7 SQ.FT.	(4) 1842 = 12 SQ.FT.	(2) 26510 = 14 SQ.FT. -OK
BEDROOM #8	- V - 131 SQ.FT. x 4% = 5 SQ.FT.	(2) 1842 = 6 SQ.FT.	(1) 26510 = 7 SQ.FT. -OK
BEDROOM #9	- V - 147 SQ.FT. x 4% = 6 SQ.FT.	(2) 1842 = 6 SQ.FT.	(1) 26510 = 7 SQ.FT. -OK
BEDROOM #10	- V - 171 SQ.FT. x 4% = 7 SQ.FT.	(1) 2955 = 8 SQ.FT. -OK	(1) 2955 = 8 SQ.FT. -OK
BEDROOM #11	- V - 139 SQ.FT. x 4% = 6 SQ.FT.	(1) 2955 = 8 SQ.FT. -OK	(1) 2955 = 8 SQ.FT. -OK
STUDY AREA #1	- V - 166 SQ.FT. x 4% = 7 SQ.FT.	(2) 2756 = 14 SQ.FT. -OK	(2) 2756 = 14 SQ.FT. -OK

PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

